

STATUS OF SUPPLEMENTARY GUIDANCE ON
HORSELL CONSERVATION AREA
CHARACTER APPRAISAL AND DESIGN GUIDANCE

Status

This planning Guidance which is supplementary to Policy BE9 of the Woking Borough Local Plan 1999, has been formally adopted by Woking Borough Council. In this regard the document has the status of a material consideration in the determination of applications for planning permission and conservation area consent by this Authority and in its defence of decisions at appeal.

The document provides guidance on the control over demolition of buildings and the appropriate form of design, layout and material finish that will be required for proposals in the conservation area. The document also relates to Policy BE8 of the Woking Borough Local Plan 1999 and will be referred to when preparing enhancement proposals in the conservation areas.

Statement of Public Consultation

In accordance with the advice set out in Annex A (A3) of Planning Policy Guidance Note 1 (PPG1) on General Policy and Principles, and the advice set out in paragraph 4.9 of Planning Policy Guidance Note 15 (PPG15) on Planning and the Historic Environment, the document has been the subject of wide consultation with a total of 65 consultees, as follows:

i) Local Property Owner/Occupiers

All property interests in the Conservation Area were individually consulted.
These number 63 properties in total.

ii) Local Residents and Amenity Groups

The local Horsell Residents Association and Horsell Traders Association were Consulted, which are the only associations known to the Council in the area.

The period of consultation allowed eight weeks for the various individuals and organisations to make comments on the draft guidance. Altogether 4 responses were received. After careful consideration of these representations the Guidance was amended to address these points of concern. These amendments were considered at the Councils Executive Committee on 25 July 2002 when the Guidance was formally adopted. Full details of these representations together with the Councils response can be obtained on request by contacting 01483 - 743443

HORSELL CONSERVATION AREA CHARACTER APPRAISAL AND DESIGN GUIDANCE

1. BACKGROUND

The Horsell Conservation Area was first designated on 25th April 1978. The original boundary was along High Street from the western boundary of Queen Elizabeth Gardens and the former Bensteads garage, south along Church Hill to its boundary with Tower Close which forms most of the historic core of the settlement surrounding St. Mary's Church .

The Conservation Area was extended in April 1992 by the designation of two additional areas of largely nineteenth century housing which are contiguous with the original boundary

- Waldens Park Road from Church Hill up to its junction with Bury Lane
- Church Hill southwards from its 1978 boundary to the junction with Brewery Road up to "Moorhatch".

2. PURPOSE OF STATEMENT

This document describes the qualities of the character and appearance of the Horsell Conservation Area which make it special and that need to be protected and enhanced. The purpose of the document is to:

- Define the detailed features of the Conservation Area which contribute to its special character and which need to be protected
- Provide guidance for the design, layout and material finish of developments and other works
- Assist the Council in making decisions on planning submissions to control the quality of design in new development which could affect the area's character.
- Assist householders in the preservation and conservation of period dwellings
- Assist in the preparation of proposals for the enhancement of the Conservation Area

3. SPECIAL PLANNING CONTROLS

The Council has special planning controls with a Conservation Area under the Planning (Listed Buildings and Conservation Areas) Act 1990 which are used to protect its character. These relate particularly to:

- The control of demolition
- The control over the detailed design of new development (including extensions) to ensure they are sympathetic to the area's character
- The control of all works to trees in the area

However, in exceptional circumstances, the Council may seek to introduce additional planning controls to cover more minor elements of building work, where this is considered essential to protect the special character of the area. All the planning controls are explained in more detail in Appendix 2.

4. DETAILED CHARACTER APPRAISAL

4.1 The following range of features have been considered as part of the detailed appraisal of the area's special character:

Pattern of Settlement

- Street pattern
- Plot characteristics
- Views and landmarks

Other Features

- Road and footway surfaces
- Street furniture
- Signs, advertisements and satellite dishes
- Open spaces and natural landscape

Buildings (Design, Materials & Uses)

- Historic and other important buildings
- Predominant building types
- Use of buildings
- Shop front design
- Boundary treatments

5. PATTERN OF SETTLEMENT

5.1 The church of St Mary's forms the nucleus of the village . Originally built as a small chapel on higher land, it was approached from the south east by a track that ran through heathland and a few small holdings, seeking higher ground, to avoid marshy areas. The resulting street pattern today, follows a sinuous route, rising up towards the church from the north, and then descending down the appropriately named Church Hill.

The Waldens Park Road area of the Conservation Area was part of an estate development, commenced in 1898, built on land formerly in agricultural and nursery use. Together with adjacent roads, it has the regular pattern of a planned estate.

a)Street pattern

5.2 Within the Conservation Area there are distinct changes in the character of the street pattern and plot dimensions , so that it falls into three distinct areas:

Area 1: High Street and northern section of Church Hill ("historic core")

Area 2: southern section of Church Hill

Area 3: Waldens Park Road



Fig. 1. Character Sub-Areas

5.3 Area 1:

As the historic core of the centre, this area has developed in an irregular and ad hoc way that is characterised by the rather open and fragmented nature of its streetscape, particularly towards its northern (High Street) end. Whilst some buildings are sited hard against the footway, without any front boundary, others are set quite deeply within their curtilage. The streetscape is further interspersed by a number of formal and informal open spaces, including Queen Elizabeth Gardens, the War Memorial and several wide grassed margins to the roadside.

5.4 To the south, the street pattern becomes increasingly enclosed towards Church Hill, where the land begins to rise and turn into a slight curve. The high walls on either side of the road, particularly in front of St Mary's Church and the Vicarage, together with the modern houses opposite and the absence of any pavement on the eastern side, accentuate this sense of enclosure. The geometric relationship between the Church, Vicarage and School also creates a sense of civic formality which forms the main focus for the Conservation Area.

5.5 Area 2:

In the southern section of Church Hill, from its junction with Lych Way, the road becomes narrower and the sense of enclosure is heightened by the high boundary hedges which front many of the dwellings. Although frontage depths vary, buildings generally follow the road alignment. Towards the southern end of the Conservation Area, the road opens out again until at its junction with Brewery Road, the streetscape is quite open.

5.6 Area 3:

As a planned estate, the street pattern in Walden Park Road is entirely different from the remainder of the Conservation Area. The engineered road is consistently wide throughout, with a significant straight section and curves at either end. The houses which are laid out in a traditional frontage pattern of development are spaced at regular intervals and consistent depths of frontage with established building lines.

- ◆ **Development proposals should reinforce the characteristics of the historic street layout in each area. In particular, opportunities should be taken to enclose the building frontage and screen rear areas in the northern section of the Conservation Area where some areas of land are under-utilised and the street pattern is very fragmented.**

b) Plot characteristics

- 5.7 **Area 1**, there is a wide variety of plot sizes, reflecting the fact that the area has a mix of residential, commercial and community uses . Many of these occupy only part of the plot frontages, the remainder in use as car parking or access. There are large areas of under- utilised land behind some of the frontage buildings which could be used more intensively to enhance the historic character of this area.
- 5.8 **Area 2**, plots are of more regular shape and size; typically about 0.12ha. with plot depths about three times their width. In Church Hill, there is generous spacing either side of the buildings, and most of the houses, especially the older ones, have cottage scale dimensions. Opportunities for infilling are limited, although there is considerable potential for minor extensions.
- 5.9 **Area 3**, Waldens Park Road, plot characteristics are more uniform, but include narrow and wide plots. Buildings occupy a large extent of the frontage and are generally of substantial scale. Although there has been some infilling, there appear to be few infill opportunities in this part of the Conservation Area, although there is scope for minor extensions.
- 5.10 A wide variety of plot sizes will be appropriate in Area 1 and there is scope to sub-divide some larger plots . Within Areas 2 & 3 Plot sizes in any proposed development should reflect those in the immediate vicinity, and extensions to dwellings should retain the wide spacing between buildings to maintain the character of the street scene.**

c) Views and landmarks

- 5.10 There are several views and landmarks in the Horsell Conservation Area which are identified on the appraisal map. These are as follows:
- 5.11 St Mary's Church, particularly from the south, where the substantial blue cedar adjacent to the Church provides a majestic setting .
The Red Lion pub, set on a corner site, also forms a significant landmark, again most prominent when viewed from the south.
- ◆ Any new developments should retain and enhance the views and landmarks identified above.**

6. BUILDING DESIGN, MATERIALS AND USES

a) Historic and other important buildings

- 6.1 There are several historic buildings in Horsell Conservation Area dating from the twelfth to nineteenth century. These are detailed in the appraisal plan.

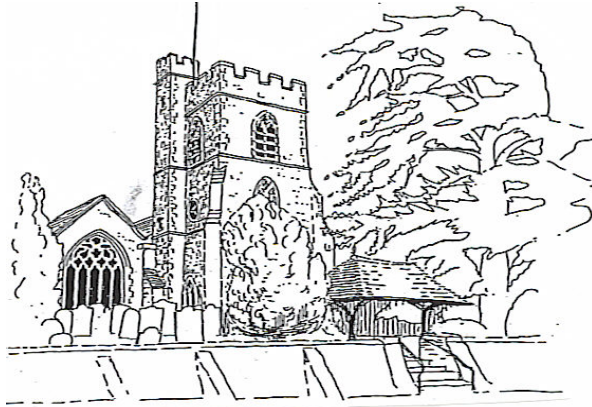


Figure 2. St. Mary's Church which is a grade II Statutory Listed Building that is also a local landmark.

6.2 Only one of these buildings, St Mary's Church, is protected by statutory listing.

A number of other historic buildings are included in the Council's local list as set out below. Several of these have group value and make a valuable contribution to the street scene.

St Mary's Church

Former Bensteads Garage.

Horsell Parish Hall

Horsell County First School

The Red Lion pub

The nucleus of 17th century houses near the junction of Church Hill and Waldens Park Road, consisting of Kalmia, Bowness and The Cottage.

No's 7,9,26,28,29,31,33,35 Waldens Park Road

- ◆ **Where formal consent is required, the Council will resist demolition and works to adversely alter all period buildings within the Conservation Area which make a positive contribution to its character and appearance, particularly those on the statutory or local list (see above). The Council will pay particular attention to protecting public views of the setting of these buildings, and those identified as having a group value.**
- ◆ **Any proposed development should take its design cues from the historic and period buildings in the Conservation Area, including the form, scale, materials used and detailing, in order to enhance or maintain the character of the Conservation Area.**

b) Predominant building types

6.3 **Area 1** is characterised by having a wide variety of building forms and styles, including community and commercial buildings, with some dwellings. Most buildings are two storeys, of brick or painted render, Notable buildings include:

- the former Bensteads garage, a 19th century building with period shop front
- the Vicarage, a mainly nineteenth century brick fronted house

- The Village Hall and School. The former possesses features characteristic of the Arts and Craft movement such as the sweeping pagoda style roof. The remaining buildings in this area are mainly flat fronted detached nineteenth century buildings, constructed of brick, although most have been rendered and painted. There is a variety of roof styles, mostly clay tiles but some of slate.



Fig. 3. The Village Hill is an interesting 'Arts & Crafts' style building on the Council's Local List

6.3 **Area 2** contains most of the older buildings in the Conservation Area, several dating from the seventeenth century. They are mainly two storey wide fronted brick built dwellings of cottage scale. There are also several Victorian villas which have similar characteristics to the dwellings in Waldens Park Road.

"Moorhatch" at the junction of Church Hill and Brewery Road, is a particularly distinctive building from the early inter-war period. Roofs in this area are mainly simple gabled forms of both shallow and steep pitch, mainly constructed from plain clay tiles. Roofs have narrow margins with open eaves on the older houses.

6.5 **Area 3**, Waldens Park Road, the buildings are of larger scale than the Church Hill area, and comprise substantial detached and semi detached Edwardian villas. These are mainly two storey but many have dormer windows in the roof. They are brick built or brick at ground floor with render above, with clay tiled roofs. Most of these villas have similar, period characteristics, including:

- Wide fronted, symmetrical elevations
- complex roof structures with prominent eaves and exposed rafters to some, and a mixture of gable and hipped roof styles.
- decorative barge boards and timber work to the front elevations,
- significant projecting bays, many with bay windows at ground and first floor.
- decorative tile hanging ,decorative chimneys, finials and ridge tiles .



Fig. 4. A typical pair of semi detached Edwardian Villas in Waldens Park Road with characteristic architectural details.

- ◆ Any new building should reflect the scale, height and appearance of buildings in the immediate locality, and should incorporate the features identified as typical of the surrounding area, particularly in Area 3. For example, the complex roofs with open sprocketed eaves in Waldens Park Road, and building forms with gable ends in Church Hill. Where possible, chimneys should be retained and new chimneys incorporated in order to provide an interesting roofscape.
- ◆ Extensions should be clearly subordinate to the main building, and should reflect the predominant profile of roofs in the area.

c) Windows and Doors

6.6 Windows in the older parts of the Conservation Area are mainly simple, small scale, sash types, constructed of timber and painted white, and often with traditional sub-divisions of smaller panes. They occupy some 30% of building frontages. There are distinctive double height windows to the Village Hall and school. "The Cottage" has unusual sash windows with very wide timber framing.



Fig. 5. 'The Cottage' Church Hill with its unusual wide section period window frames.

6.7 Windows in Waldens Park Road are generally much larger sash and casement types , with smaller top lights above the transom. Many have bay windows.

6.8 Doors throughout the area are mainly painted traditional panelled wooden doors. The older houses tend to be flush with the front façade of the house. However, in Waldens Park area in particular is characterised by the use of recessed porches to most dwellings, many forming arches with use of decorative detailing. Others have decorative timber porches in the Arts and Crafts style.

- ◆ **New buildings and extensions should use traditional joinery for doors and window frames. Both traditional sliding sash and casement windows are appropriate, with traditional sub-divided glazing. The ratio between the proportion of glazing to solid frontage should not exceed 30% of the building frontage. The use of UPVC window frames and doors and the introduction of roof lights and velux windows on elevations in view of the street will be discouraged. The style of windows to new developments in Church Hill and Waldens Park Road in particular should reflect the period style of the original dwellings. Retention of windows and doors in traditional forms are encouraged.**

d) Materials and colour

6.9 For the older buildings in the Conservation Area, a limited range of materials are used. Local Surrey red/orange brick and painted render predominates. Roofs are mainly plain clay roofing tiles, although there are also several slate roofs.

6.10 The Victorian and Edwardian dwellings in the area are characterised by the diversity of materials used. These include

- Brick or rendered ground floor with a tiled or rendered upper floor
- Use of decorative tiling to elevations and around porches and windows
- Decorative timber boarding to front elevations, usually painted.
- Retention of original pebbledash facades.
- White and neutral colours predominate on the painted render and window surrounds; front doors are in a variety of colours.

- ◆ **New development should be constructed of local Surrey red/orange brick with either plain clay roof tiles or slate roofs. Material such as pebble dash, render, tile hanging and timber detailing on front elevations could be used where nearby properties also incorporate these features.**

e) Use of building

6.11 Uses in the Conservation Area divide clearly into the commercial and community uses which tend to be located in Area 1, and residential, predominantly single family dwellings, in the remainder of the Area.

- ◆ **Development for business and community uses will be restricted to the northern and central sections of the Conservation Area, where these uses predominate, on sites already used for these purposes.**

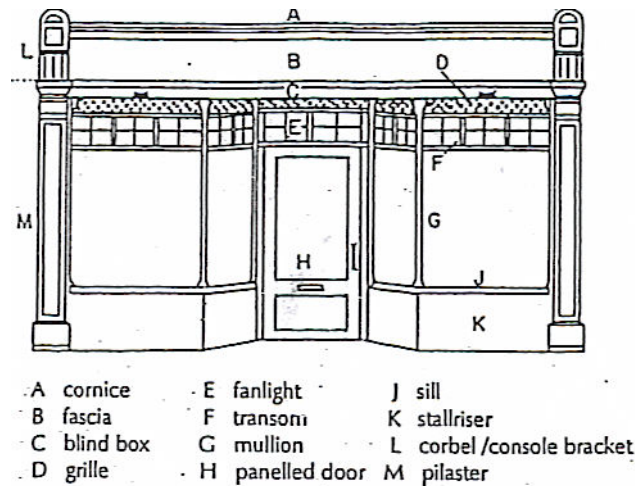


Fig. 6 Traditional elements of a period shopfront

- ◆ Where there is a proposal to alter a shop front or provide a new shop unit, the design should incorporate traditional elements as shown above. The design should also take into account the overall architectural design of the building. Any lighting of signs should be discreet and externally illuminated.
- ◆ In other parts of the Conservation Area, residential uses will be maintained, apart from exceptional circumstances where an alternative use is necessary to ensure the long term preservation of a building of historic or townscape merit.

7.0 OTHER FEATURES

a) Boundary treatments

- 7.1 In the northern part of the Conservation Area (Area 1) few properties have enclosed boundaries, so that buildings are the dominant element. However, the absence of boundaries emphasises the fragmented appearance of this area and exposes views into rear car parks and other private areas which detracts from its appearance.
- 7.2 In the southern area, dwellings, especially along Church Hill, are screened from the road by well defined boundaries comprising high hedges, shrubs, brick walls and fences. Hedges are particularly important, and looking south along Church Hill, the view is of a continuous 2 metre high hedges. Many of these are backed by trees.
- 7.3 Of particular note is the historic, ornate brick wall running in front of the Church and Vicarage. In this location the wall directly abuts the road.
- ◆ Opportunities should be taken to create a stronger boundary line in respect of Area 1. Where appropriate in this area, building frontages should directly join the pavement without any further means of enclosure. The retention or replanting of new hedges is encouraged. In Areas 2 and 3, the pattern of enclosed boundaries should be reinforced. Planning consent will not be granted for proposals which introduce an incongruous form of boundary treatment.

b) Open Spaces and the Natural Landscape.

7.4 The Conservation Area is mainly urban in character. However there are a number of important open spaces, the most important being Queen Elizabeth Garden at the north west end of the Conservation Area. There is also a small open space in front of the War Memorial, and quite a large open area behind the Village Hall, although this is not a public open space, and a grassed road margin in Church Hill.

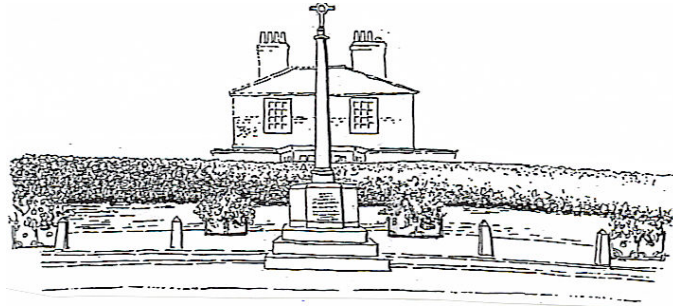


Fig. 7. The small open space formed by the landscaped setting of the War Memorial.

7.5 There are a number of important trees, as shown on the attached map. These include a notable blue cedar in the Church yard, a large pin oak tree near the Village Hall, a large, mature beech tree near the junction of Waldens Park Road and Church Hill, and an avenue of London plane trees running along Waldens Park Road. The residential areas in particular are characterised by dense planting of shrubs.

Many of the trees in the area are protected by Tree Preservation Orders, as shown on the Appraisal Map.

- ◆ **Open space and other natural landscape elements should be retained. Development will not be permitted which will result in the loss of or have a detrimental impact on the quality of these spaces. Queen Elizabeth Gardens could benefit from rationalisation of equipment and the removal of elements which clutter the frontage.**
- ◆ **The Council will seek to protect trees of amenity value in the Conservation Area against felling and inappropriate works. (see Appendix 2 & 3) The Council will also promote the planting of new trees of suitable species to maintain the area's landscape character.**

c) Road and Footway Surfaces; Street Furniture

7.6 All the roads and footways in the Conservation Area are constructed of tar macadam. In the area in front of the Church and Vicarage, there are no pavements; further south along Church Hill, pavements are narrow, although there is one very wide section in front of the school which detracts from the appearance of the Conservation Area.

- ◆ **New footways should remain narrow and surface materials should be of high quality. Materials such as natural stone or traditional pavers are to be used in preference to tarmac. Landscape improvements are needed for the wide tarmac area fronting the school and measures to stop car parking on it.**

7.7 There is little street furniture apart from that in Queen Elizabeth Gardens, where the amount of equipment gives a cluttered appearance. There are also several attractive planters at the War Memorial site..

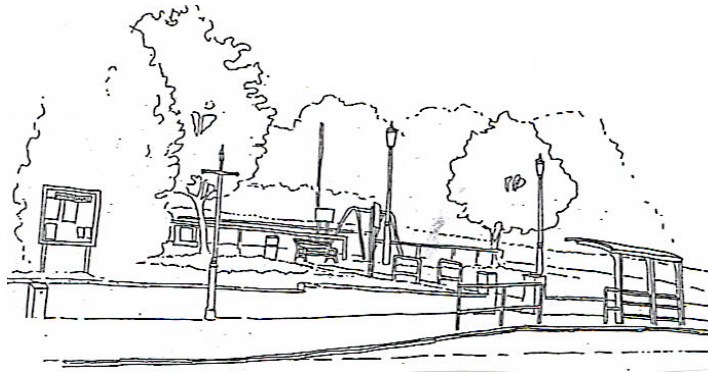


Fig. 8. The bus shelter and other equipment which clutters the frontage of the Queen Elizabeth Gardens.

- ◆ **Where opportunities arise to renew street furniture, including lampposts and signs, the aim should be to achieve a consistency of style, such as the use of black cast iron equipment throughout the Conservation Area.**
- ◆ **Where new development is proposed, services such as telephone and cable wires should be located underground and street signs carefully sited.**

d) Negative Features

- 7.8 There are a number of minor negative features in the area, which include:
- The proliferation of signs and other equipment, including the children's play area, in Queen Elizabeth Gardens, which clutters its appearance. This is exacerbated by the unattractive concrete bus shelter and public toilets along the frontage
 - The pre-fabricated Scout Hut adjacent to the Village Hall and the adjacent storage container.
 - The chain link fence, which runs alongside the Village Hall.
 - The modern street lamps throughout the Conservation Area.
 - Parking areas at the rear of buildings, especially the two pubs and school, which are open to public view
 - The multiplicity of accesses in certain locations, such as the area between the Village Hall and the Red Lion pub.
- ◆ **Where opportunities arise, either through development schemes or enhancement projects, the improvement of the negative features identified above should be addressed.**

Appendix 1
HORSELL CONSERVATION AREA STATEMENT
Character Appraisal and Design Guidance
Summary

1.0 Purpose

This document provides a summary of the main features that make a special contribution to the character and appearance of the Horsell Conservation Area which the Council seeks to protect and enhance through its statutory planning controls. **Householders and designers seeking to undertake any form of development in the area should ensure their proposals preserve or enhance the areas character, with particular reference to the points made in bold text below.**

A full copy of the Guidance can be obtained from the Council on request.

2.0 Background of Designation

The Conservation Area was designated in April 1978, as shown on the attached Map.

The Conservation Area was extended in April 1992 by the designation of two additional areas which are contiguous with the original boundary. The boundary covers the High Street from the western boundary of Queen Elizabeth Gardens and the former Bensteads garage, south along Church Hill to its boundary with Tower Close which forms most of the historic core of the settlement surrounding St.Marys Church. The area was extended to Waldens Park Road from Church Hill up to its junction with Bury Lane and Church Hill southwards from its 1978 boundary to the junction with Brewery Road.

3.0 Pattern of Settlement

- The character of the Conservation Area varies within different sections.
- Within the High Street and Northern section of Church Hill (Area1) the street pattern is characterised by an open and fragmented streetscape. Some buildings are sited hard against the footway whilst others are set deeply within their curtilage. To the south the street pattern becomes more enclosed. The high walls and absence of pavement on the eastern side accentuate the sense of enclosure. There is a wide variety of plot sizes.
- Within the southern section of Church Hill (Area 2) the road becomes narrower characterised by high boundary hedges which front many dwellings. Buildings generally follow the road alignment. Plot sizes are typically about 0.12ha.
- Within Waldens Park Road section (Area 3) the road is consistently wide, with houses laid out in a traditional frontage pattern of development, spaced at regular intervals and consistent depths of frontage with established building lines. Narrow and wide plots are included.
- There are a number of significant views. Notably that of St. Mary's Church , from the south and the Red Lion Pub viewed from the south.
- **Development proposals should reinforce the character of the historic street layout in each area. In particular, opportunities should be taken to enclose the building frontage and screen rear areas in the northern section of the Conservation Area (Area1) where some areas of land are under-utilised and the street pattern is very fragmented.**

4.0 Building Character

- There are a number of historic buildings within the area dating from the twelfth to the nineteenth century, with a mix of uses, although residential use predominates.

4.1 Important Buildings The following have special interest;

- The Church of St. Mary The Virgin is Grade II * statutory listed.
- Roake Tomb 1 Yard North of North Wall of St Mary's Church and Roake Tomb 2ft South of South of Aisle of St. Mary's Church are Grade II statutory listed.
- Former Bensteads Garage, Horsell Parish Hall, Horsell County First School, The Red Lion Pub, Kalmia, Bowness and The Cottage and 7,9,26,28,29,31,33 & 35 Waldens Park Road are included on the Councils local list.
- **The council will resist demolition and works to adversely alter all period buildings in the area, particularly those on the statutory or local list.**

4.2 Building Style There are a wide variety of periods and styles within the area. Area 1 buildings are two storeys with a variety of plot sizes. Area 2 buildings are mainly two storey wide fronted dwellings of cottage scale. Area 3 buildings are of a larger scale and comprise substantial two storey detached and semi detached Edwardian villas.

Roofs are in a variety of different styles, both gabled and hipped mostly using clay tiles

- Window designs in older areas of the conservation area are simple small scale sash types occupying some 30% of building frontages. Windows in Waldens Park Road are larger sash and casement types, with smaller top lights above the transom. Bay windows are commonly used. Doors throughout the area are mainly painted traditional panelled wooden doors. In the Waldens Park area in particular the use of recessed porches is common.
- The older buildings use a limited range of materials such as Surrey red/orange brick and painted render. The Victorian and Edwardian dwellings use a diversity of materials which include brick or rendered ground floor with a tiled or rendered upper floor, use of decorative tiling, decorative timber boarding to front elevations, usually painted and the retention of original pebbledash facades.
- **New developments should reinforce the character and appearance of the street frontage in terms of height, form, scale, and material finish, and should take their design cues from appropriate buildings in the immediate locality.**

Other Features

5.1 Boundary Treatment. In the Northern area of the conservation area few properties have enclosed boundaries. In the southern area dwellings are screened from the road by well defined boundaries comprising high hedges, shrubs, brick walls and fences.

- **Opportunities should be taken to create a stronger boundary line in respect of Area 1. Where appropriate in this area, building frontages should directly join the pavement without any further means of enclosure. In Areas 2 and 3, the pattern of enclosed boundaries should be reinforced. Planning consent will not be granted for proposals which introduce an incongruous form of boundary treatment.**

5.2 Trees. There are a number of important trees within the area. Notably in the Church Yard, at the junction of Waldens Park Road and Church Hill and along Waldens Park Road. A number of trees in the area are the subject of Tree Preservation Orders.

- **The Council will resist felling or undertaking of any inappropriate works to trees which are subject to Tree Preservation Orders (TPO).**

Appendix 2

Additional Planning Controls within a Conservation Area

The Council has special planning controls in a Conservation Area in addition to its normal planning powers, as set out below :

1. Demolition

Conservation Area Consent is normally required before any building or structure can be demolished within the area, including certain walls and outbuildings. This provision applies unless the building has a volume less than 115 cubic metres or was constructed under permitted development rights, such as garden shed.

Formal Listed Building Consent is also required for works to demolish or alter the appearance or setting of a Statutory Listed Building.

It is an offence to undertake demolition in a conservation area, where approval is required, or any works to a listed building, without prior consent. Conviction is punishable by fine or imprisonment.

2. Development

The following additional restrictions on development require planning permission :

- Any extension which would increase the volume of an original dwelling by more than 10% or 50 cubic metres (whichever is largest, up to a maximum of 115 cubic metres. All additional buildings within the site over 10 cubic metres, regardless of location are treated as extensions to the dwelling).
- An extension or any kind of alteration to a dwelling which would materially alter the appearance of the roof.
- Cladding the outside of a building with stone, tiles timber, render or any other material which would alter its appearance.
- The installation of a satellite dish on any part of the building visible from the highway.

3. Design of New Development

The Council has a special duty when considering applications for development in a conservation area to preserve or enhance the character or appearance of the area. All proposals will be carefully examined to ensure that all elements of the proposal, particularly; layout, bulk, height, form, elevational design, colour and material finish are appropriate in scale and character for that particular part of the conservation area. In this regard only fully detailed planning applications will normally be considered and must show both plan and elevational relationships with adjoining buildings. All applications in conservation areas are advertised to allow for public comment.

4. Minor Alterations and Additions

Small changes to residential buildings such as the alteration or replacement of original windows do not normally require permission unless the property is statutory listed. However, the continued loss of architectural detail can gradually erode the character and appearance of an area through the culmination of minor changes. The Council will monitor the conservation area and if evidence supports will seek the introduction of an Article 4(2) Direction to remove certain rights of permitted development in the area. This would enable such minor matters to be brought under planning control, where this is considered necessary to protect the areas special character.

5. Trees

Anyone proposing to do work on a *tree in a Conservation Area, including; lopping, topping or felling, is required to give the Council six weeks notice of their intentions in writing. This period allows the Council to inspect the tree so that it can consider if it should be the subject of Tree Preservation Order (T.P.O.) in accordance with the criteria for selection as set out in Appendix 2. No works can be undertaken on trees which are protected by a T.P.O. until formal consent has been granted by the Council.

* For these purposes a tree must have a trunk with a diameter exceeding 75mm when measured at chest height (1.5 metres above the ground).

It is an offence to undertake works on a protected tree without prior consent, or to undertake works on a tree in a conservation area without prior notification. Undertaking such unauthorised works is punishable by fine.

Appendix 3
Criteria for the Selection of Trees for Protection
by Tree Preservation Order (TPO)

The following criteria on health and amenity value will be used in the selection of trees to be protected by Tree Preservation Orders:

1. Health and Structural Condition

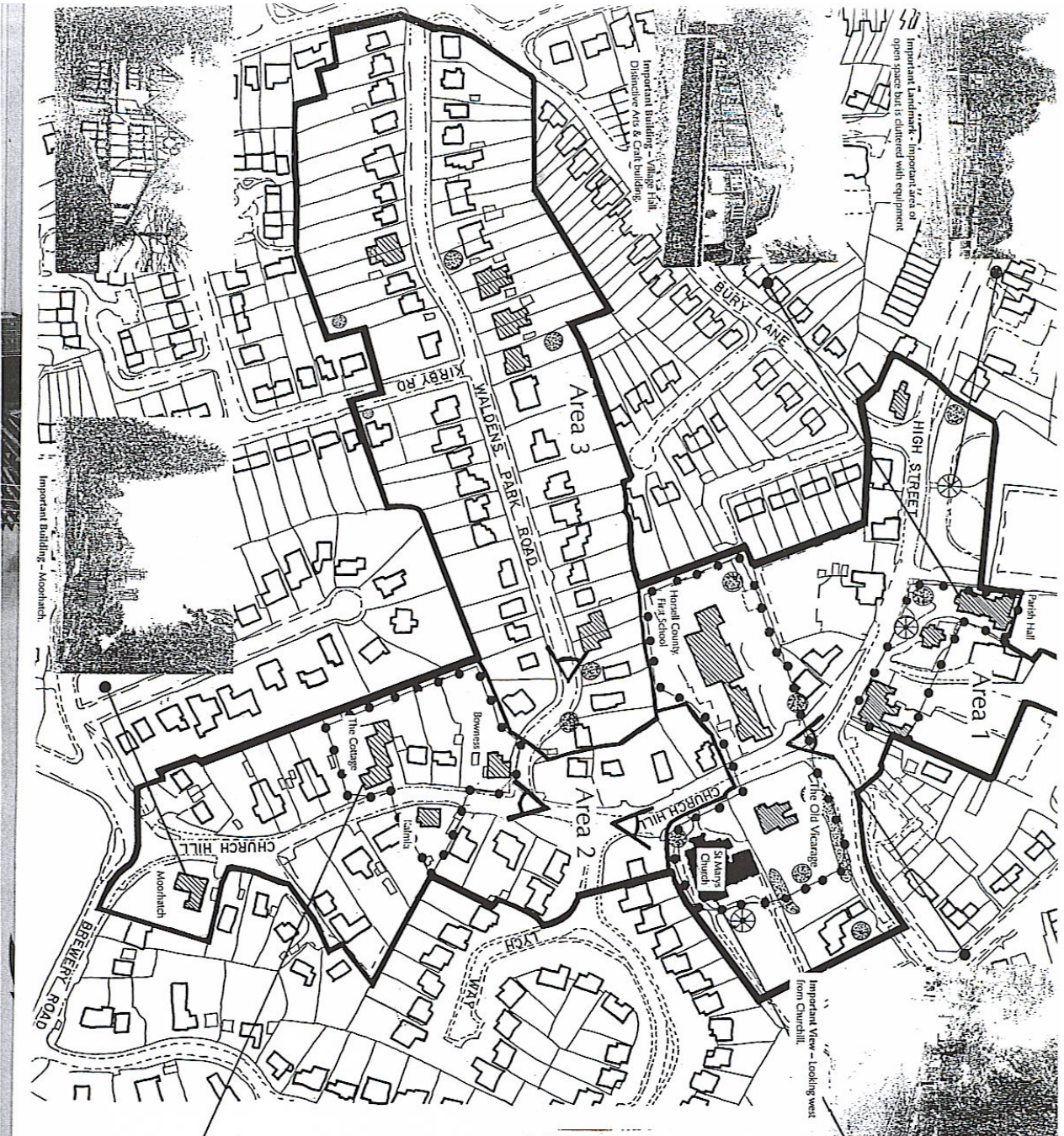
- Condition in relation to type, age and position (ref. BS 5837 - 1991)
- Evidence of; storm damage, root lifting, dead/diseased wood, excessive epicormic growth, weak forks etc. that would reduce selection.
- Type and position of tree is appropriate for its location.
- Reasonable life expectancy without compromising adjacent buildings or infrastructure.
- Need for corrective action to maintain the tree in a safe condition.

2. Amenity Value

- a) Visual significance within the landscape.
 - Visibility of the tree from surrounding public areas (or those with limited public access).
 - Prominence of the tree as a local focal point or landmark.
 - Popularity of the location, i.e. busy or seldom visited.
 - Contribution to the local landscape character.
 - Contribution as an element of a landscape feature, e.g. an Avenue.
 - Contribution in screening out an unsightly/incongruous feature in the landscape.
- b) Form of Tree.
 - Shape and balance of tree in representing typical characteristics of species.
 - Particularly unusual or distinctive characteristics of trees form.
 - Extent of impact that past works or natural damage have made on the form of the tree.
- c) Scarcity
 - Rarity of species or particular cultivar.
 - Special historical associations with site or locality.
- d) Potential Future Benefit
 - Value in contribution to future landscape character of area.

3. Other Factors

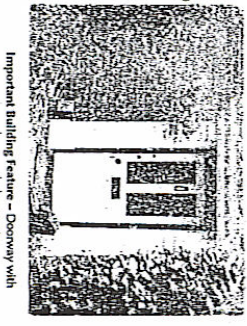
- e.g. contribution to the setting of an historic building.



HORSELL
CONSERVATION AREA
CHARACTER APPRAISAL MAP

- Boundary of the Conservation Area
- Areas of different settlement pattern Characteristics
- Statutory Listed Buildings
- Buildings on Councils Local List
- Important Groups of Buildings
- Important View
- Important Landmark
- Significant Groups of Trees
- Significant Individual Trees

Not to Scale
 Jan. 2007.



Important Building Feature - Denney with

